



RESIDENTIAL STAND-BY FIXED GENERATOR SUBMITTAL GUIDE

Pennsylvania Uniform Construction Code (UCC) referencing the International Residential Code & the National Electrical Code
(NFPA 70) as adopted by Manheim Township Ordinance

BUILDING PERMIT REQUIREMENTS A building permit is required for fixed generators as set forth in Section 403.1 of the PA Uniform Construction Code as adopted per Manheim Township Ordinance. Submit the following items for review and approval:

- **BUILDING PERMIT APPLICATION**

Complete the [Application for Zoning Review, Building Plan Examination, and Building Permit](#). It is necessary to fill out all applicable areas of the permit application including the signature of the permit applicant. Our staff will assist applicants with questions regarding the permit application.

- **PERMIT FEE SCHEDULE**

Permit fees are as follows: Emergency Generator Systems \$150. Additional fees include a UCC mandated Educational Fee and a Planning & Zoning Review Fee.

A payment invoice will be provided to the permit applicant upon permit issuance.

- **PLAN REQUIREMENTS**

- **Two (2) copies of the generator installation instructions/specifications.** Specify the fuel source (LP, natural gas or other fuel source) and size of the proposed generator – kw rating.
- **Two (2) copies of instructions/specifications on the proposed automatic transfer switch or manual transfer switch,** if installed.
- **Two (2) copies of a simple wiring diagram** illustrating the location of the generator, automatic or manual transfer switch and the proposed wiring methods between all of the proposed components. The diagram shall include the conduit (type and size) or cable type and wire size/type and number of conductors between all components. All exterior conduit installations require wet rated wire installations.
 - A fully compliant grounding system is to be present or added as part of the generator installation. Water pipe grounding (if present) and supplemental grounding – two ground rods spaced 6 feet apart are to be installed per NEC 250. Make note of the existing or upgraded grounding on the electrical wiring diagram.
 - Include generator fuel source piping type, size and length of run. Natural gas piping is to be installed and detailed per given environment. Exterior gas piping types are to be specified and burial depth noted (if applicable).
- **Two (2) copies of a simple floor plan layout** (interior and/or exterior) showing the proposed locations of the generator in relation to doors, windows and other openings into the building, location and clearances for transfer switches and other components related to the generator installation. Generator clearances required per the manufacturer are to be maintained. Clearances at transfer switches and other electrical components are to be noted and maintained per the National Electrical Code.
- **Two (2) copies of a site plan** of the property with the location of the generator, size of the generator and pad (square footage) and the distance from the generator to the property lines.

PERMIT CONSIDERATIONS AND REQUIREMENTS

- If natural gas piping is installed as part of the generator installation, a [Gas Piping Certification Testing Certification](#) is to be completed and submitted by the installer after gas piping is installed/tested.
- Electrical work shall be installed per the IRC/NEC. All new electrical work associated with the generator is subject to field inspection and approval.

INSPECTION REQUIREMENTS

- Generators shall not be used until a Manheim Township Code Official approves the Final Electrical and Final Inspection. Manheim Township will issue a Certificate of Use and Occupancy upon approval of all required inspections.
- **RESIDENTIAL STAND-BY GENERATOR INSPECTIONS:**
 1. Underground conduit and wiring prior to backfill. (if applicable)
 2. Natural gas piping visual inspection. If natural gas is installed as part of the generator installation, a [Gas Piping Certification Testing Certification](#) is to be completed and submitted
 2. Final Electric / Final Building Inspection
 - Verification of electrical connections of generator and transfer switch. Wiring sizes and wiring type to be verified (wet rated wiring needed for exterior applications)
 - A fully compliant grounding system is to be present or added as part of the generator installation. Water pipe grounding (if present) and supplemental grounding – two ground rods spaced 6 feet apart are to be installed per NEC 250 and IRC E3608
 - Test of generator – contractor representative to be on site to perform a test of the generator and transfer switch to verify operation of all components
- If you should have any questions regarding the placement of the generator on the property or the site plan requirements, contact David Bednar, Zoning Officer, at (717) 569-6406 ext. 1112, or dbednar@manheimtownship.org.
- If you should have any questions regarding the generator installation or specifications, contact Tim Stoltzfus, at (717) 569-6406 ext. 1117 or via email at tstoltzfus@manheimtownship.org.

ZONING SITE PLAN REQUIREMENTS

The following must appear on all site plans:

- ◆ Location of all property lines. Include exact length of all property lines and include the size of your lot in square feet.
- ◆ Location of all existing buildings and improvements, including but not limited to, residence, driveways, walkways, sheds, decks, patios, porches, swimming pools, garages, hot tubs, and any other impervious surface.
- ◆ Location of all proposed projects and other improvements, including but not limited to, driveways, walkways, sheds, decks, patios, porches, swimming pools, garages, hot tubs, and any other impervious surface.
- ◆ Exact dimensions, including the area calculations in square feet, of all existing and proposed improvements on the property, including but not limited to, residence, driveways, walkways, sheds, decks, patios, porches, swimming pools, garages, hot tubs, and any other impervious surface.
- ◆ Exact dimensions from all existing and proposed improvements to all property lines, including but not limited to, residence, driveways, walkways, sheds, decks, patios, porches, swimming pools, and any other impervious surface.
- ◆ Location of all easements on the property, both public and private including the exact dimensions of the easements. (See notes below)
- ◆ Location of the 100-year floodplain and the 100 year floodplain elevation, if applicable. Boundaries of the 100-year floodplain must be field staked prior to any on site construction, if applicable. (See notes below)
- ◆ Location and dimension of any clear sight triangles on the property. (See notes below)
- ◆ Location of all required Manheim Township building setback lines.
- ◆ Location of all public street rights-of-way.
- ◆ Location of all public streets, including curb and sidewalk, if applicable.
- ◆ Location of an on-lot sewage system, if applicable.
- ◆ Location of all wetland areas, if applicable.
- ◆ Location of all Municipal boundaries, if applicable.

• SITE PLAN NOTE REQUIREMENTS

- ◆ Any lot which contains a recorded easement or right-of-way MUST have the following note on the site plan:

“Nothing shall be placed, planted, set, or put within the area of the easement that would adversely affect the function of the easement.”

- ◆ Any lot which contains a 100-year floodplain MUST contain the following note:

“Any proposed improvements to be located within the 100 year floodplain shall be in accordance with the Manheim Township Floodplain Ordinance, 2015 as amended.”

- ◆ Any lot which contains a 100-foot clear site triangle MUST have the following note written on the site plan:

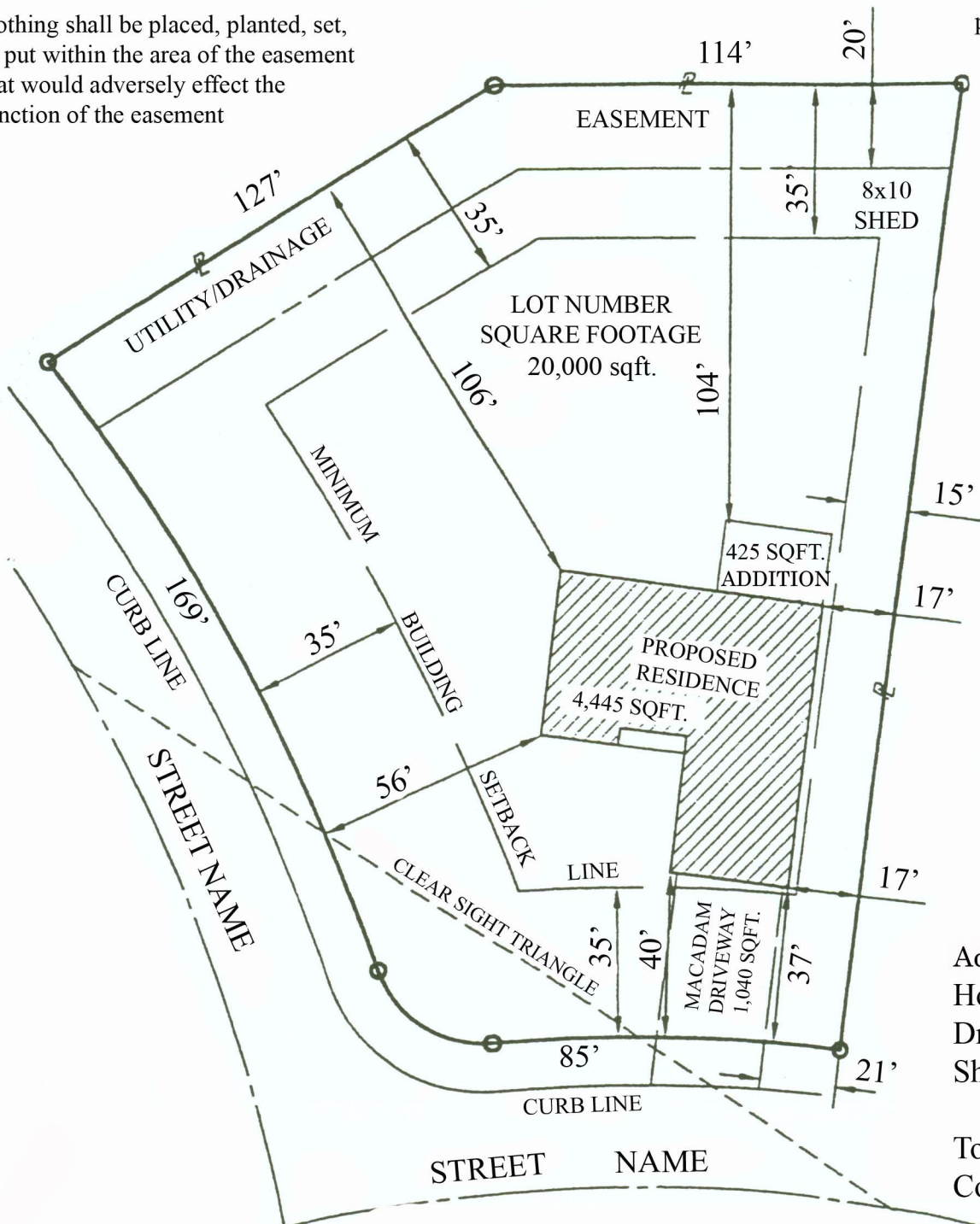
“Nothing shall be placed, planted, set, or put within the area of the 100 foot clear site triangle that has the possibility of growing in excess of 30 inches or may obscure motorist vision.”



Sheds may be located up to, but not into an easement

Maintain a minimum of 5 feet setback between shed and side/rear property lines

Nothing shall be placed, planted, set, or put within the area of the easement that would adversely effect the function of the easement



Addition 425sqft.
House 2445 sqft.
Drive 1040 sqft.
Shed 80 sqft.

Total 3990 sqft.
Coverage

Nothing shall be placed, planted, set or put within the area of a clear sight triangle that has the possibility of growing in excess of 30 inches or that may obscure motorist vision.

Name
Address
City, State, Zip code
Home Phone Work Phone

TYPICAL SITE PLAN

SCALE: 1" = 40'0"